

APPLICATION NUMBER: 2020/37617

Ward:	Great Sankey North and Whittle Hall, Burtonwood and Winwick
Date Registered:	21-Aug-2020
Case Officer	Michael Davies
Applicant:	James Nicholls
Location:	PLOT 7A, THE HUT GROUP, SKYLINE DRIVE, WARRINGTON, WA5 3TP
Proposal:	Reserved matters application for approval of details of landscaping, scale, layout and appearance (warehouse and southern car park extension) pursuant to outline planning permission 2014/23290 (as amended by 2016/28337).

Recommendation: Approve subject to Conditions

Conditions and/or Reasons

1. This reserved matters approval shall be implemented in accordance with the following:

Plans and drawings prepared by Chetwoods;

- Site Location Plan (4873-CA-00-XX-DR-A - 00-001 - P1)
- Existing Site Layout (4873-CA-00-GF-DR-A - 00-002 - P1)
- Proposed Site Layout (4873-CA-00-GF-DR-A - 01-001 - P1)
- Existing Elevations (4873-CA-00-XX-DR-A - 00-003 - P1)
- Proposed Elevations (4873-CA-00-XX-DR-A - 01-002 - P1)
- Car Park Expansion (4873-CA-00-XX-DR-A - 01-100 - P1)

Reason – To define this reserved matters approval.

2. The proposed warehouse hereby approved shall not be brought into use until the areas indicated on the submitted plans to be set aside for parking and servicing have been surfaced, drained and permanently marked out or demarcated in accordance with the details and specifications shown in drawing numbers 4873 CA 00 GF DR A 01 001 rev P1 and 4873 CA 00 XX DR A 01 001 rev P1. The parking and servicing areas shall be retained as such for the lifetime of the development.

Reason: To ensure that adequate provision is made on the site for the traffic generated by the development, including allowance for safe circulation, manoeuvring, loading and unloading of vehicles as well as parking, and that hard-surfaced areas have a satisfactory appearance in accordance with policies CS1 and QE6 of the adopted Local Plan Core Strategy for Warrington and with the Council's adopted Standards for Parking in New Development SPD.

3. A scheme for the provision of cycle parking in accordance with the Council's current standards shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall be implemented as approved before the proposed warehouse is brought into use and shall be retained as such thereafter. Notwithstanding the provisions of the Town and Country Planning Act (General Permitted Development) Order 1995 (or any Order revoking or re-enacting that Order) no building works, which reduce this provision, shall take place without the express grant of planning permission by the Council.

Reason: To ensure that adequate provision for parking cycles on the site is made and retained for

the lifetime of the development and to establish measures to encourage non-car modes of transport in accordance with policies CS1; MP1; MP3; and QE6 of the adopted Local Plan Core Strategy for Warrington and with the Council's adopted Standards for Parking in New Development SPD.

SUMMARY OF KEY REASONS **FOR RECOMMENDATION**

- The principle of the development is acceptable as a second phase of the warehouse project approved under 2014/24372, following outline planning permission 2014/23290 (as amended by 2016/28337)
- The site is part of the Omega & Lingley Mere Strategic Proposal, which *inter alia* provides for large scale warehouse development
- The nearest residential development is the recently completed development within Lingley Mere Business Park, circa 680 meters to the south of the site; there would be no impact on residential living conditions
- In Highways terms, the proposed extension and parking would be within an area of the site previously identified for this expansion; would be below the floor space previously agreed and would deliver additional parking in line with the Council's Standards for Parking in New Development SPD
- The forecast traffic generation of the proposal is acknowledged to have already been assessed and agreed as part of the 2016/28337 permission
- The details of scale, layout, appearance and landscaping now submitted are acceptable

OFFICER'S REPORT

1. APPLICATION SITE AND SURROUNDINGS

- 1.1. The site is the existing base for The Hut Group which is immediately south of the M62 motorway, in the north western corner of Omega South, adjacent to the propose Zone 8 development in St Helens Borough.

2. DESCRIPTION OF PROPOSAL

- 2.1. As envisaged as part of the 2014/24372 reserved matters approval, it is now proposed to extend the existing warehouse at the site and to provide an additional 152 car park spaces and 25 HGV spaces, on land previously envisaged for this expansion.
- 2.2. The extension would be to the western end of the existing warehouse building.

3. AMENDED PLANS

- 3.1. The application has not been amended since submission.

4. LOCAL REPRESENTATIONS

- 4.1. The application was publicised by notification letters to the nearest site operators – namely ASDA Walmart; The Delivery Group; Royal Mail and Plastic Omnium. There are no residential neighbours within the 50 metre notification distance, the nearest residential properties being those on Lingley Mere Business Park over 680 metres to the south.

- 4.2. The application has also been advertised by site notice and press notice.
- 4.3. As a result of advertisement, no objections have been received from residents or from occupiers of commercial sites on Omega.
- 4.4. Ward Councillors
No response.
- 4.5. Parish Councils
Great Sankey Parish Council – no response
Burtonwood and Winwick – no response

5. CONSULTTEES

Warrington BC Transport Planning and Development Control - no objection subject to conditions to ensure the provision and retention of cycle parking and a travel plan.

Warrington BC Environmental Protection - no objection.

6. RELEVANT SITE HISTORY

Planning Ref:	2016/28337
Description of Development:	Variation of condition 5 attached to outline planning permission 2014/23290 so the total approved internal floor-space of the development shall not exceed 233,480 sqm (2.52 million sq ft.) and shall be used for B2 General Industrial and B8 Storage and Distribution use only (Section 73 determination).
Decision:	Approve subject to conditions and S106
Date of Decision:	31.08.2016
Planning Ref:	2014/24372
Description of Development:	Application for approval of reserved matters to consider appearance, landscaping, layout and scale following approval of outline permission 2014/23290
Decision:	Approve subject to conditions
Date of Decision:	26.09.2014
Planning Ref:	2014/23290
Description of Development:	Outline application for of up to 196,000 sq.m (2.1 million sq.ft) of B2 manufacturing and B8 logistics floorspace (split 30% B2/70% B8) with associated car parking, landscaping and infrastructure.
Decision:	Approve subject to conditions and S106
Date of Decision:	16.05.2014

7. PLANNING POLICY

- 7.1. Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires the Committee to make its determination in accordance with the Development Plan unless material planning considerations support a different decision being taken. Whilst third party representations are regarded as material planning considerations (assuming that they raise town planning matters) the primary consideration, irrespective of the source or number of third party representations received, remains the extent to which planning proposals comply with the Development Plan. The National Planning Policy Framework (NPPF) supports this

legislative position and its contents are a material consideration in determining the application.

National Planning Policy Framework 2019 (NPPF)

- 7.2. The Revised National Planning Policy Framework (2019) (NPPF) confirms that decisions should apply a presumption in favour of sustainable development. Paragraph 7 of the document states that the objective of sustainable development can be summarised as meeting the needs of the present without compromising the ability of future generations to meet their own needs. This is balanced by Paragraph 9 which states that plans and decisions need to take local circumstances into account, so that they reflect the character, needs and opportunities of each area.
- 7.3. Where there are other specific, relevant, material issues raised in the NPPF these will be discussed within the Assessment below.
- 7.4. As stated above, the NPPF re-iterates that planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. The development plan, in the case of Warrington, refers to the Local Plan Core Strategy (2014).

Relevant Policies in the Local Plan Core Strategy (2014)

CS1 – DELIVERING SUSTAINABLE DEVELOPMENT

CS8 – OMEGA AND LINGLEY MERE

QE3 – GREEN INFRASTRUCTURE

QE4 – FLOOD RISK

QE5 – BIODIVERSITY AND GEODIVERSITY

QE6 – ENVIRONMENT AND AMENITY PROTECTION

QE7 – ENSURING A HIGH QUALITY PLACE

MP1 – GENERAL TRANSPORT PRINCIPLES

MP3 – ACTIVE TRAVEL

MP7 – TRANSPORT ASSESSMENTS AND TRAVEL PLANS

MP10 - INFRASTRUCTURE

Other Documents

Design & Construction SPD

Standards for Parking in New Development SPD

8. EQUALITIES ACT (2010)

- 8.1. In determining this application, the Local Planning Authority has considered the requirements under S149 of the Equalities Act 2010. It is considered that the application has no differential impacts.

9. ASSESSMENT

Principle of Development

- 9.1 The site is part of the Omega & Lingley Mere Strategic Proposal, which provides for large scale warehouse development, allocated under policy CS8 in the adopted Local Plan Core Strategy for Warrington, and would therefore contribute to the economic, social and environmental objectives of sustainability in the

NPPF.

- 9.2 The principle of the development is acceptable as a second phase of the warehouse project approved under 2014/24372, following outline planning permission 2014/23290 (as amended by 2016/28337).

Highways & Transportation Matters

- 9.3 The Council's Transport Planning and Development Control team have assessed the proposal with the conclusion that the proposed extension and parking would be within a previously identified area of the site; that it is below the gross floor space previously agreed and that the additional parking is proposed in line with the Council's Standards for Parking in New Development SPD. The traffic impact of the proposal is acknowledged to have already been assessed, as part of the 2016/28337 permission.
- 9.4 Condition 15 attached to outline planning permission 2016/28337 required the submission of a detailed travel plot for the wholes of The Hut Group site, and so it is not necessary to make this requirement by condition again. The applicant has confirmed that a detailed travel plan (together with various other detailed submissions) will be submitted as part of applications to discharge condition attached to the 2016/28337 outline planning permission.
- 9.5 Subject to the controls and requirements imposed by conditions on the 2016/28337 permission, the proposed extension and parking would accord with policies CS1; MP3; MP7 and MP10 of the adopted Local Plan Core Strategy for Warrington and with the environmental objective of sustainability set out in NPPF.

Residential Amenity

- 9.6 The nearest residential development is over 680 metres to the south; no new housing is proposed any nearer to the site than this, as part of either the Omega of Lingley Mere Business Park proposals. At this range, and given the presence on intervening land, there is not forecast to be any discernible impact on living conditions.
- 9.7 The proposal would accord with policies CS1 and QE6 of the adopted Local Plan Core Strategy for Warrington and with the environmental objective of sustainability as set out in the NPPF.

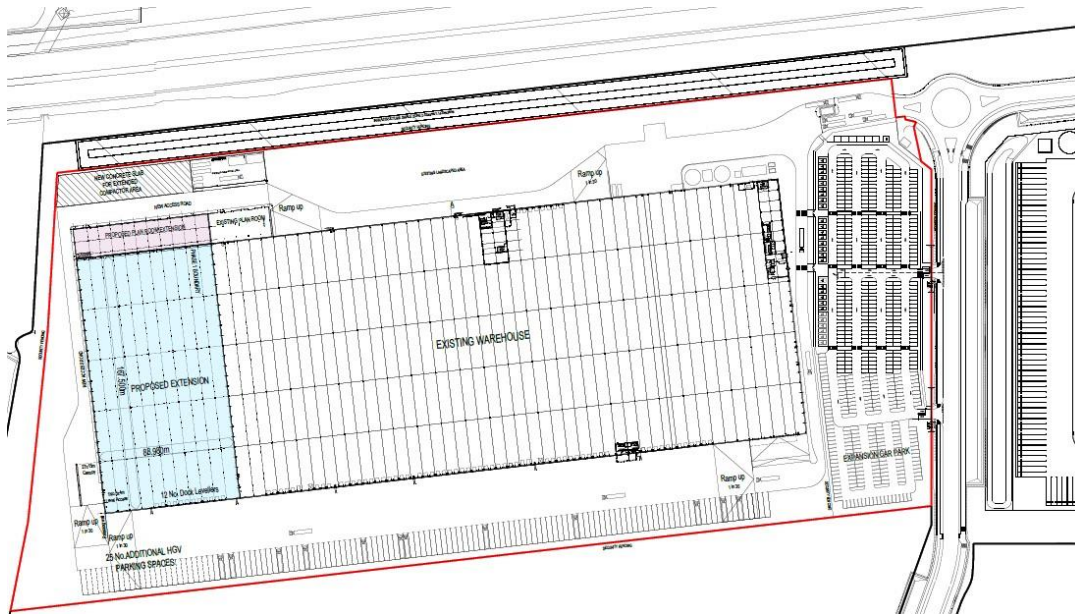
Environmental Matters

- 9.8 The Council's Environmental Protection team have confirmed that traffic generated by the proposal would not be of a level that would materially affect air quality or impact on any sensitive receptors; that no further land remediation conditions are needed and that it is not expected that any significant increase in noise would result from this proposal.
- 9.9 The proposal would accord with policies CS1 and QE6 of the adopted Local Plan Core Strategy for Warrington and with the environmental objective of sustainability as set out in the NPPF.

Details of Scale; Layout; Appearance and Landscaping

Scale and Layout

- 9.10 The proposed extension to the warehouse would sit on the identified expansion land to the west of the existing building. The proposed additional 152 car parking spaces would be located on the identified car park expansion land to the south east of the existing building. The proposed addition 25 HGV spaces would be provided the south of the proposed warehouse expansion.
- 9.11 The proposed warehouse extension will comprise 16,639 sq.m (179,101 sq. ft) GFA and will comprise 14,904 sq.m (160,426 sq. ft) of warehousing facilities, in addition to 1,735 sq.m (18,675 sq. ft) of addition plantroom facilities, adjacent to the existing plant room:-



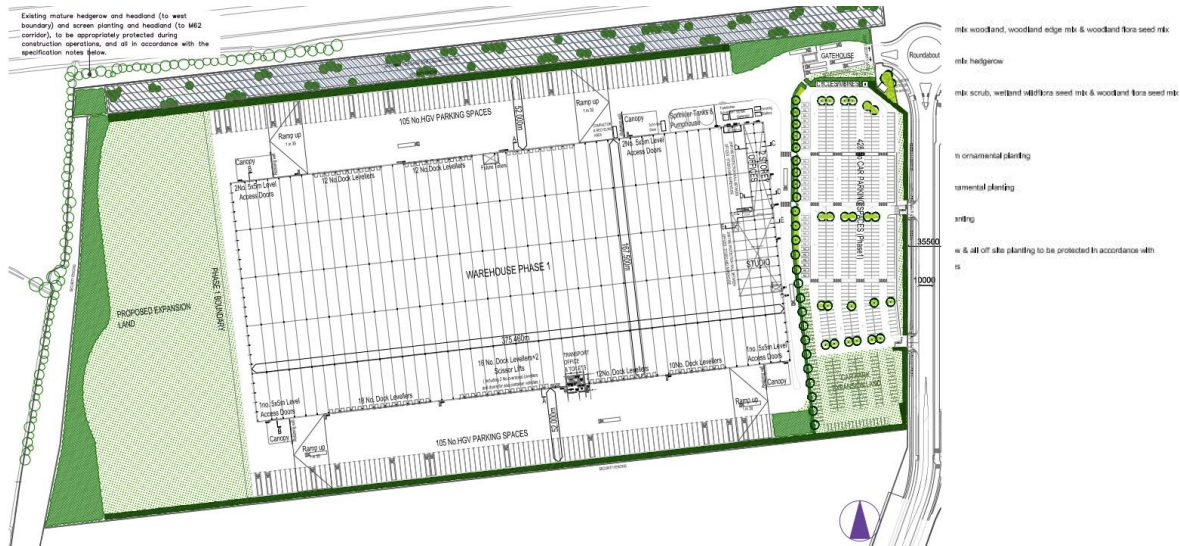
- 9.12 The submitted scale and layout would be compatible with that envisaged as part of the outline permission and with the existing development at Omega.

Appearance

- 9.13 The finishes and materials proposed for the building would maintain the high quality treatments applied to the other developments at Omega, and to match the existing warehouse on the site. The external cladding will be a combination of horizontal and vertical profiled metal panels, typically light grey in colour, with flat metal panelling in off white, and mid-grey.

Landscaping

- 9.14 The previous reserved matters application (2014/24372) included a landscaping scheme which acknowledged the areas of the site identified for future expansion. Consequently, the areas of the site now to be built on have remained as low maintenance grassland. The wider landscaping plan is unaffected by the proposed development:-



Approved Reserved Matters (2014/24372) Landscaping Plan

9.15 The landscaping is acceptable as part of this large scale development, being in keeping with other schemes on Omega South, and would include some screening and visual softening of the appearance of parked vehicles from Catalina Approach.

10. CONCLUSIONS AND RECOMMENDATIONS

10.1 Detailed matters such as surface water drainage and ecology will be dealt with under application (s) to discharge of conditions attached to the 2016/28337 outline permission, as set out in para 6.12 of the submitted Planning Statement.

10.2 The submitted details of scale; layout; appearance and landscaping are acceptable and in accordance with policies CS1; CS8; QE3; QE4; QE6; and QE7 of the adopted Local Plan Core Strategy for Warrington and with the economic, social and environmental objectives of sustainability in the NPPF.

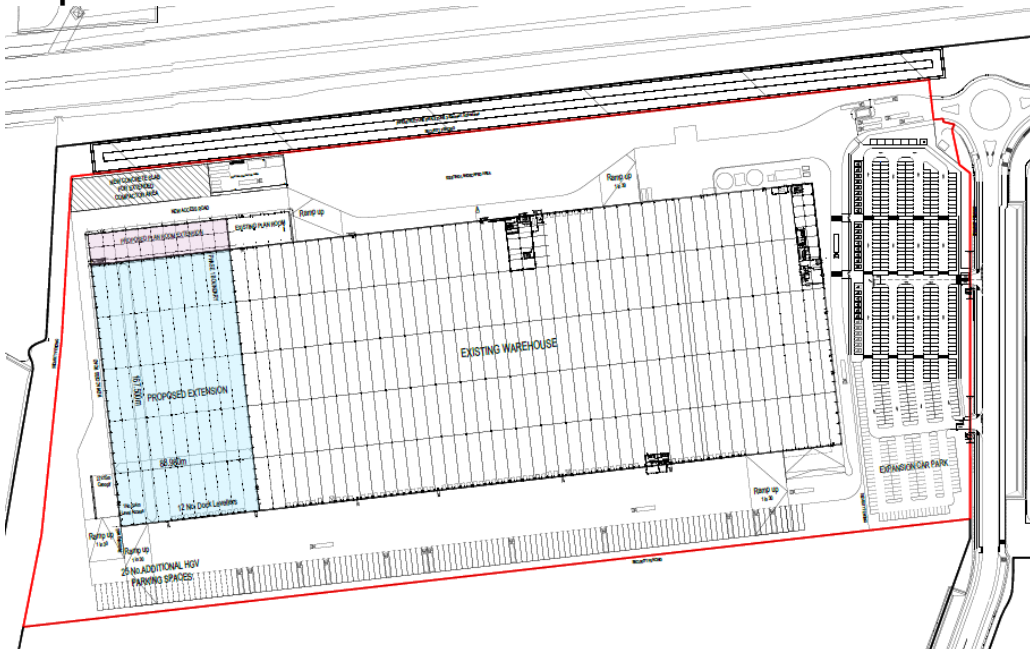
11. PLAN EXTRACTS

Extract from Omega Masterplan



Source; Omega Warrington Limited

Proposed Site Plan



Source: Applicant's submission

View of the Existing Building From Catalina Approach to the South of the Site - The Proposed Extension Would Be to the Left Hand Side of the Existing Building Shown



Source: Caseworker Photo

Buildings to the South of the Site Off Catalina Approach





Source: Caseworker Photos

Date Report Completed:	9 October 2020	Michael Davies
Date Agreed by Section Head:	9 October 2020	Matt Carney